

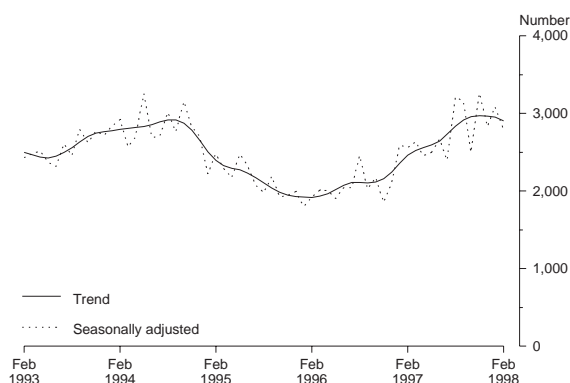
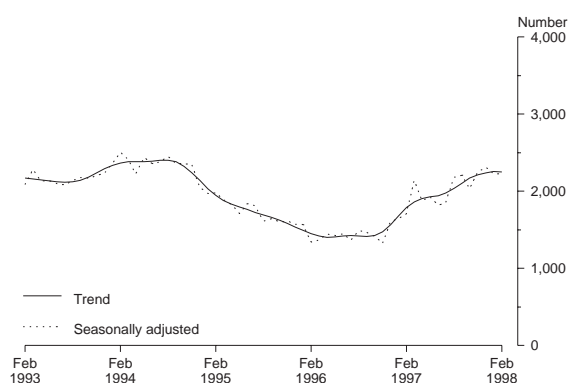
BUILDING APPROVALS

VICTORIA

EMBARGO: 11.30AM (CANBERRA TIME) TUES 7 APR 1998

MAIN FEATURES**NUMBER OF DWELLING UNITS APPROVED**

	February 1997	January 1998	February 1998	February 1997 to February 1998 change	January 1998 to February 1998 change
Original series	2,516	2,439	2,757	9.6%	13.0%
Seasonally adjusted	2,563	3,088	2,803	9.4%	-9.2%
Trend estimate	2,461	2,953	2,905	18.0%	-1.6%

TOTAL DWELLING UNITS APPROVED**PRIVATE SECTOR HOUSES APPROVED****Residential building**

- The trend for total dwelling units has fallen by 2.2% over the last three months but is still 18.0% above the level of a year ago.
- The trend for private sector houses has flattened. It is 26.0% higher than the level of twelve months ago.
- In original terms the number of dwelling units approved rose 13.0% to 2,757. This total comprised 2,145 houses (up from 1,810), 546 other residential dwellings (down from 552) and 66 conversions.

Non-residential building

- The value of non-residential building approved in February was \$222.6 million. Of this total Offices (\$49.2 million), Miscellaneous (\$37.9 million) and other business premises (\$32.4 million) were the largest contributors.
- In February there were six building jobs valued at more than \$5 million each and 41 jobs valued at between \$1 million and \$5 million each.

INQUIRIES

- *for more information about statistics in this publication and the availability of related unpublished statistics, contact Merv Leaker on Adelaide (08) 8237 7585 or any ABS State Office.*
- *for information about other ABS statistics and services please contact Information Services on Melbourne (03) 9615 7755, call at 485 La Trobe Street, Melbourne or write to Information Services, ABS, GPO Box 2796Y, Melbourne 3001.*

RELIABILITY OF CONTEMPORARY TREND ESTIMATES

The tables below present trend estimates of selected building approvals series for the six months September 1997 to February 1998.

Analysis of building approvals series has shown that the original series can be volatile and that the initial estimates of a month's trend value can be revised substantially. In particular, some months can elapse before a turning point in the trend series is identified reliably. Generally, the size of revisions to the trend estimates will tend to be larger with greater volatility of the original series. Revisions to trend estimates will also occur with revisions to original data and re-estimation of seasonal adjustment factors. See paragraphs 19 and 20 of the Explanatory Notes for a more detailed explanation.

To illustrate the possible impact of future months' observations on the trend estimates for the latest months, the tables show the revisions to the trend estimates which would result if the movements in the seasonally adjusted estimates for next month (March 1998) were to equal the average monthly percentage change (regardless of sign) in the series over the last ten years.

For example, if the seasonally adjusted estimate for the number of private sector houses approved (the first table) were to increase by 5% in March 1998, the trend estimate for that month would be 2,301, a movement of 0.9%. The monthly movements in the trend estimates for December 1997 and January and February 1998 which are currently estimated to be 1.2%, 0.7% and -0.1% respectively, would be revised to 1.2%, 1.0% and 0.8%. On the other hand, a 5% seasonally adjusted decline in the number of private sector houses approved in March 1998 would produce a trend estimate for that month of 2,199, a movement of -0.6%, with the movements in the trend estimates for December 1997 and January and February 1998, being revised to 0.5%, -0.2% and -0.6% respectively.

NUMBER OF PRIVATE SECTOR HOUSES APPROVED RELIABILITY OF TREND ESTIMATES

	<i>Trend estimate</i>		<i>Revised trend estimate if March 1998 seasonally adjusted estimate</i>			
			<i>is up 5% on February 1998</i>		<i>is down 5% on February 1998</i>	
	<i>No.</i>	<i>% change on previous month</i>	<i>No.</i>	<i>% change on previous month</i>	<i>No.</i>	<i>% change on previous month</i>
1997—						
September	2,109	3.5	2,108	3.5	2,113	3.7
October	2,173	3.0	2,173	3.1	2,181	3.2
November	2,214	1.9	2,214	1.9	2,219	1.7
December	2,240	1.2	2,240	1.2	2,229	0.5
1998—						
January	2,257	0.7	2,262	1.0	2,226	-0.2
February	2,254	-0.1	2,280	0.8	2,212	-0.6
March	n.y.a.	n.y.a.	2,301	0.9	2,199	-0.6

TOTAL NUMBER OF DWELLING UNITS APPROVED RELIABILITY OF TREND ESTIMATES

	<i>Trend estimate</i>		<i>Revised trend estimate if March 1998 seasonally adjusted estimate</i>			
			<i>is up 8% on February 1998</i>		<i>is down 8% on February 1998</i>	
	<i>No.</i>	<i>% change on previous month</i>	<i>No.</i>	<i>% change on previous month</i>	<i>No.</i>	<i>% change on previous month</i>
1997—						
September	2,920	2.9	2,921	2.9	2,929	3.2
October	2,963	1.5	2,965	1.5	2,980	1.7
November	2,971	0.3	2,972	0.2	2,979	-0.0
December	2,964	-0.3	2,964	-0.3	2,944	-1.2
1998—						
January	2,953	-0.4	2,956	-0.3	2,893	-1.8
February	2,905	-1.6	2,946	-0.3	2,827	-2.3
March	n.y.a.	n.y.a.	2,958	0.4	2,777	-1.7

TABLE 1. DWELLING UNITS APPROVED

Period	New houses			New other residential buildings			Conversions, etc.	Total (a)		
	Private sector	Public sector	Total	Private sector	Public sector	Total		Private sector	Public sector	Total
MELBOURNE STATISTICAL DIVISION (b)										
1994-95	17,816	307	18,123	3,100	581	3,681	1,330	22,240	894	23,134
1995-96	12,690	345	13,035	2,986	723	3,709	617	16,275	1,086	17,361
1996-97	13,708	136	13,844	5,940	311	6,251	1,189	20,783	501	21,284
1996-97 July-February	8,152	104	8,256	4,118	248	4,366	707	12,976	353	13,329
1997-98 July-February	12,663	173	12,836	4,166	267	4,433	617	17,445	441	17,886
1996— December	999	9	1,008	271	8	279	208	1,478	17	1,495
1997— January	919	33	952	642	4	646	24	1,585	37	1,622
February	1,110	4	1,114	626	5	631	223	1,959	9	1,968
March	1,367	12	1,379	481	—	481	36	1,876	20	1,896
April	1,396	20	1,416	427	36	463	76	1,898	57	1,955
May	1,469	—	1,469	494	23	517	70	2,033	23	2,056
June	1,324	—	1,324	420	4	424	300	2,000	48	2,048
July	1,519	3	1,522	479	35	514	25	2,023	38	2,061
August	1,679	3	1,682	789	75	864	55	2,522	79	2,601
September	1,737	17	1,754	415	40	455	222	2,374	57	2,431
October	1,507	47	1,554	295	30	325	64	1,866	77	1,943
November	1,693	24	1,717	757	47	804	52	2,502	71	2,573
December	1,610	55	1,665	462	16	478	60	2,132	71	2,203
1998— January	1,387	14	1,401	468	9	477	74	1,929	23	1,952
February	1,531	10	1,541	501	15	516	65	2,097	25	2,122
VICTORIA										
1994-95	25,284	601	25,885	3,225	808	4,033	1,347	29,849	1,416	31,265
1995-96	18,425	464	18,889	3,218	937	4,155	663	22,277	1,430	23,707
1996-97	19,593	212	19,805	6,421	384	6,805	1,240	27,197	653	27,850
1996-97 July-February	11,951	153	12,104	4,456	306	4,762	747	17,150	463	17,613
1997-98 July-February	17,237	271	17,508	4,422	403	4,825	635	22,293	675	22,968
1996— December	1,446	18	1,464	317	8	325	216	1,976	29	2,005
1997— January	1,365	33	1,398	674	16	690	25	2,064	49	2,113
February	1,609	10	1,619	665	7	672	225	2,499	17	2,516
March	1,895	12	1,907	512	—	512	37	2,436	20	2,456
April	1,926	29	1,955	454	48	502	80	2,459	78	2,537
May	2,004	11	2,015	561	26	587	74	2,639	37	2,676
June	1,817	7	1,824	438	4	442	302	2,513	55	2,568
July	2,050	3	2,053	513	39	552	27	2,590	42	2,632
August	2,262	4	2,266	822	75	897	57	3,140	80	3,220
September	2,379	34	2,413	445	79	524	225	3,049	113	3,162
October	2,190	58	2,248	315	54	369	64	2,569	112	2,681
November	2,300	39	2,339	783	71	854	54	3,137	110	3,247
December	2,173	61	2,234	502	29	531	65	2,740	90	2,830
1998— January	1,788	22	1,810	517	35	552	77	2,382	57	2,439
February	2,095	50	2,145	525	21	546	66	2,686	71	2,757

(a) Includes Conversions, etc. See paragraphs 11-13 of the Explanatory Notes. (b) As a result of minor changes to the Melbourne Statistical Division boundary, data for the periods prior to July 1995 are not strictly comparable to data for periods from July 1995 onwards.

TABLE 2. VALUE OF BUILDING APPROVED
(\$ million)

Period	New residential building									Alterations and additions to residential buildings	Non-residential building		Total building	
	Houses			Other residential buildings			Total				Private sector	Total	Private sector	Total
	Private sector	Public sector	Total	Private sector	Public sector	Total	Private sector	Public sector	Total					
MELBOURNE STATISTICAL DIVISION (a)														
1994-95	1,732.4	23.5	1,755.9	380.7	46.4	427.0	2,113.1	69.8	2,182.9	571.9	1,072.3	1,655.8	3,749.0	4,410.6
1995-96	1,315.8	32.6	1,348.4	308.5	53.9	362.4	1,624.3	86.5	1,710.8	467.2	1,352.5	1,934.5	3,422.5	4,112.5
1996-97	1,572.3	16.6	1,588.9	610.8	19.2	630.0	2,183.1	35.8	2,218.9	592.3	1,527.1	2,303.0	4,276.6	5,114.1
1996-97 July-February	925.6	12.5	938.1	406.6	14.9	421.5	1,332.1	27.4	1,359.5	366.5	1,037.4	1,474.1	2,718.0	3,200.1
1997-98 July-February	1,440.8	15.3	1,456.2	446.2	19.3	465.6	1,887.1	34.7	1,921.7	435.9	1,556.7	1,781.6	3,851.5	4,139.2
1996— December	114.9	1.4	116.2	24.6	0.5	25.0	139.4	1.8	141.3	39.0	142.8	162.1	317.8	342.4
1997— January	103.6	5.8	109.4	58.6	0.2	58.9	162.2	6.0	168.2	39.1	168.7	202.1	367.4	409.5
February	131.2	0.4	131.5	57.2	0.2	57.4	188.4	0.6	189.0	65.0	140.2	272.0	390.7	525.9
March	157.0	1.2	158.2	38.2	—	38.2	195.1	1.2	196.3	50.7	150.7	184.1	395.1	431.1
April	162.8	2.9	165.7	36.6	2.9	39.5	199.4	5.8	205.2	51.8	129.6	156.8	378.5	413.9
May	171.8	—	171.8	70.1	1.2	71.3	241.9	1.2	243.2	49.0	106.4	136.6	395.2	428.8
June	155.1	—	155.1	59.4	0.2	59.5	214.5	0.2	214.6	74.2	103.0	351.4	389.8	640.2
July	177.4	0.2	177.6	39.5	1.8	41.3	216.9	1.9	218.9	51.1	132.1	176.2	398.9	446.2
August	185.8	0.2	186.0	67.8	7.2	75.0	253.7	7.4	261.1	54.2	122.8	142.0	429.4	457.3
September	198.5	1.3	199.8	40.6	2.5	43.1	239.1	3.8	242.9	68.5	173.5	192.1	478.1	503.6
October	175.7	4.2	179.9	27.6	2.8	30.4	203.3	7.0	210.3	69.0	180.0	238.3	444.2	517.6
November	191.4	2.1	193.4	100.3	2.9	103.2	291.7	4.9	296.6	49.1	195.8	213.6	533.8	559.3
December	182.1	5.1	187.3	50.0	1.0	50.9	232.1	6.1	238.2	43.6	440.7	450.6	713.7	732.3
1998— January	155.4	1.0	156.5	75.3	0.5	75.7	230.7	1.5	232.2	44.2	174.2	203.1	444.8	479.5
February	174.5	1.2	175.7	45.2	0.8	45.9	219.7	2.0	221.6	56.1	137.7	165.8	408.6	443.4
VICTORIA														
1994-95	2,383.4	41.9	2,425.3	388.8	59.9	448.7	2,772.2	101.8	2,874.0	685.1	1,274.7	1,975.2	4,717.5	5,534.3
1995-96	1,845.2	42.2	1,887.4	325.9	66.4	392.3	2,171.1	108.7	2,279.7	590.1	1,721.6	2,452.4	4,448.5	5,322.3
1996-97	2,149.1	22.8	2,171.9	644.3	23.8	668.1	2,793.3	46.6	2,839.9	728.5	1,879.7	2,839.8	5,366.9	6,408.2
1996-97 July-February	1,295.2	16.6	1,311.8	430.5	18.7	449.2	1,725.7	35.3	1,761.0	454.7	1,241.0	1,817.2	3,396.4	4,033.0
1997-98 July-February	1,910.1	24.5	1,934.6	467.4	27.1	494.5	2,377.5	51.6	2,429.1	536.4	1,766.0	2,108.1	4,641.0	5,073.6
1996— December	159.2	2.3	161.5	27.7	0.5	28.2	186.9	2.8	189.7	49.4	177.7	221.6	409.5	460.8
1997— January	148.4	5.8	154.2	61.3	1.0	62.2	209.6	6.8	216.4	50.1	188.9	226.6	445.1	493.1
February	179.6	0.8	180.4	60.1	0.3	60.4	239.7	1.1	240.8	76.8	173.1	359.4	485.7	677.0
March	209.8	1.2	211.0	40.0	—	40.0	249.8	1.2	251.0	63.1	180.8	225.1	492.1	539.2
April	216.3	3.8	220.0	38.2	3.5	41.8	254.5	7.3	261.8	63.5	202.0	237.0	517.3	562.3
May	224.1	0.9	225.0	74.8	1.4	76.2	298.9	2.2	301.1	62.5	135.6	178.3	493.9	541.9
June	203.7	0.4	204.1	60.8	0.2	61.0	264.5	0.6	265.0	84.6	120.3	382.1	467.1	731.8
July	233.4	0.2	233.5	42.1	2.2	44.3	275.5	2.3	277.8	62.9	161.6	227.9	497.8	568.6
August	245.7	0.5	246.2	70.3	7.2	77.5	316.0	7.7	323.7	65.7	159.5	184.5	539.1	573.9
September	264.7	2.5	267.3	42.9	4.6	47.5	307.6	7.2	314.8	83.6	209.9	242.2	597.3	640.6
October	244.0	5.0	249.1	29.8	4.2	34.0	273.8	9.2	283.0	84.4	204.8	279.2	554.6	646.7
November	252.7	3.3	256.0	101.9	4.2	106.1	354.6	7.5	362.1	60.1	213.5	247.3	624.9	669.5
December	240.6	6.2	246.8	52.9	1.7	54.6	293.5	7.9	301.4	55.6	456.7	470.2	800.2	827.2
1998— January	197.3	1.8	199.1	80.7	1.9	82.6	278.0	3.7	281.7	56.7	201.7	234.1	529.3	572.6
February	231.7	4.9	236.6	46.8	1.1	47.9	278.5	6.0	284.6	67.3	158.3	222.6	497.6	574.5

(a) As a result of minor changes to the Melbourne Statistical Division boundary, data for the periods prior to July 1995 are not strictly comparable to data for periods from July 1995 onwards.

**TABLE 3. NUMBER AND VALUE OF BUILDING APPROVED
SEASONALLY ADJUSTED AND TREND ESTIMATES (a)**

Period	Number of dwelling units (b)				Value (\$m)	
	Houses		Total		New residential building	Alterations and additions to residential buildings
	Private sector	Total	Private sector	Total		
SEASONALLY ADJUSTED						
1996— December	1,610	1,625	2,060	2,100	195.2	54.4
1997— January	1,654	1,730	2,546	2,593	239.7	58.7
February	1,711	1,726	2,546	2,563	247.4	80.0
March	2,144	2,158	2,591	2,638	302.7	64.1
April	1,884	1,905	2,420	2,460	255.9	63.7
May	1,924	1,935	2,461	2,502	281.5	57.5
June	1,820	1,825	2,609	2,672	273.9	91.8
July	1,850	1,853	2,354	2,397	244.4	61.9
August	2,186	2,191	3,118	3,215	343.5	69.6
September	2,207	2,257	3,050	3,157	302.2	79.6
October	2,032	2,097	2,346	2,497	252.2	69.6
November	2,257	2,277	3,182	3,265	371.9	60.0
December	2,315	2,364	2,711	2,835	297.1	59.4
1998— January	2,230	2,281	3,033	3,088	325.1	68.5
February	2,224	2,305	2,728	2,803	292.2	70.1
TREND ESTIMATES						
1996— December	1,567	1,593	2,206	2,244	216.0	57.8
1997— January	1,682	1,710	2,325	2,360	232.1	60.9
February	1,789	1,817	2,426	2,461	249.5	64.2
March	1,865	1,889	2,487	2,523	263.4	66.8
April	1,909	1,924	2,522	2,560	272.5	68.6
May	1,929	1,938	2,549	2,594	277.0	69.9
June	1,945	1,954	2,592	2,648	279.8	71.2
July	1,980	1,994	2,662	2,735	284.2	72.0
August	2,038	2,059	2,748	2,838	292.0	71.9
September	2,109	2,139	2,817	2,920	301.2	70.5
October	2,173	2,212	2,854	2,963	308.5	68.2
November	2,214	2,260	2,865	2,971	312.6	66.3
December	2,240	2,292	2,865	2,964	314.0	65.4
1998— January	2,257	2,315	2,863	2,953	313.8	65.5
February	2,254	2,318	2,827	2,905	308.8	65.2

(a) See paragraphs 17-24 of the Explanatory Notes. (b) Includes Conversions, etc. See paragraphs 11-13 of the Explanatory Notes.

TABLE 4. VALUE OF BUILDING APPROVED AT AVERAGE 1989-90 PRICES (a)
(\$ million)

(\$ million)

Period	New residential building				Alterations and additions to residential buildings	Non-residential building		Total building	
	Houses		Other residential buildings	Total		Private sector	Total	Private sector	Total
	Private sector	Total							
1994-95	2,220.4	2,259.3	544.0	2,803.3	638.0	1,564.4	2,423.6	4,960.2	5,864.9
1995-96	1,692.9	1,731.6	465.7	2,197.3	541.2	2,072.3	2,951.9	4,745.1	5,690.4
1996-97	1,960.3	1,981.1	781.2	2,762.3	664.5	2,219.5	3,350.5	5,663.8	6,777.4
1996—									
Sept. qtr.	443.2	448.4	228.2	676.7	146.2	465.8	618.0	1,286.1	1,440.9
Dec. qtr.	441.2	445.0	156.3	601.4	153.6	580.6	847.5	1,338.4	1,602.5
1997—									
Mar. qtr.	490.1	497.2	189.9	687.1	173.1	639.2	955.1	1,509.0	1,815.4
June qtr.	585.8	590.4	206.7	797.2	191.6	533.9	929.8	1,530.3	1,918.6
Sept. qtr.	676.6	679.5	193.4	872.9	193.0	612.7	755.4	1,676.2	1,821.4
Dec. qtr.	667.6	680.7	220.3	901.0	181.2	1,000.5	1,139.8	2,068.8	2,222.0

(a) Constant price estimates are subject to revision each quarter as more up to date information on prices and commodity compositions becomes available.

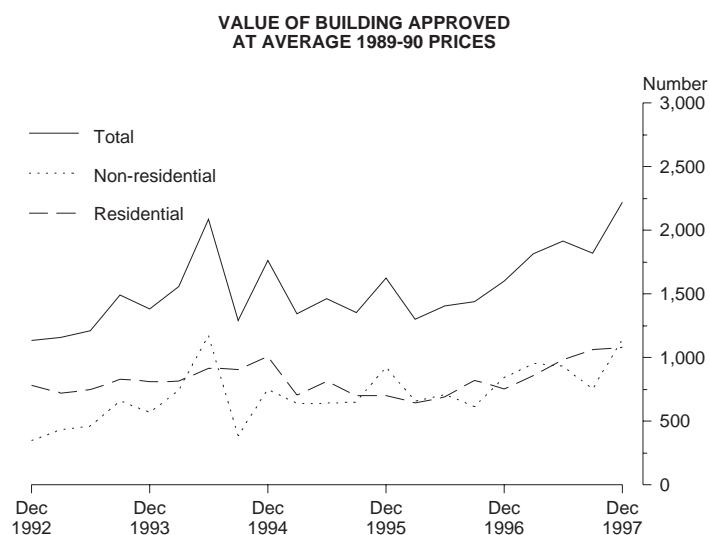


TABLE 5. VALUE OF BUILDING APPROVED, BY CLASS OF BUILDING AND OWNERSHIP
(\$ million)

	(\$ million)						
Class of building	1995-96	1996-97	July-February		1997	1998	
			1996-97	1997-98	December	January	February
PRIVATE SECTOR							
New houses	1,845.2	2,149.1	1,295.2	1,910.1	240.6	197.3	231.7
New other residential buildings	325.9	644.3	430.5	467.4	52.9	80.7	46.8
Total new residential building	2,171.1	2,793.3	1,725.7	2,377.5	293.5	278.0	278.5
Alterations and additions to residential buildings	555.8	693.9	429.8	497.4	50.0	49.6	60.7
Hotels, etc.	135.2	156.0	126.6	205.2	4.1	40.1	14.6
Shops	365.0	372.9	222.1	273.5	11.5	27.1	17.4
Factories	227.6	352.5	249.4	174.0	16.6	32.9	20.2
Offices	301.0	277.7	174.4	239.4	38.4	20.8	46.2
Other business premises	265.1	336.3	217.2	234.0	14.2	34.3	21.7
Educational	80.6	72.7	47.7	66.8	9.6	4.3	8.0
Religious	7.5	15.4	10.5	12.3	0.4	1.0	0.8
Health	68.6	127.6	61.3	81.3	3.3	17.1	13.8
Entertainment and recreational	136.2	47.1	37.6	417.5	354.0	5.0	3.3
Miscellaneous	134.7	121.5	94.3	62.1	4.6	19.1	12.1
Total non-residential building	1,721.6	1,879.7	1,241.0	1,766.0	456.7	201.7	158.3
Total	4,448.5	5,366.9	3,396.4	4,641.0	800.2	529.3	497.6
PUBLIC SECTOR							
New houses	42.2	22.8	16.6	24.5	6.2	1.8	4.9
New other residential buildings	66.4	23.8	18.7	27.1	1.7	1.9	1.1
Total new residential building	108.7	46.6	35.3	51.6	7.9	3.7	6.0
Alterations and additions to residential buildings	34.3	34.6	25.0	39.0	5.5	7.2	6.6
Hotels, etc.	1.2	1.7	1.2	0.5	0.1	—	0.3
Shops	25.5	18.3	15.5	5.6	0.4	3.3	—
Factories	3.0	21.3	20.4	2.5	—	—	—
Offices	118.0	126.9	100.4	33.6	1.8	2.6	3.0
Other business premises	75.7	64.7	6.6	28.7	0.4	0.2	10.7
Educational	284.3	338.6	131.6	104.0	6.8	23.3	12.6
Religious	—	—	—	—	—	—	—
Health	68.0	130.2	110.4	107.4	1.4	0.8	9.3
Entertainment and recreational	115.3	43.2	28.7	21.7	1.8	1.7	2.5
Miscellaneous	39.9	215.1	161.5	38.2	0.8	0.5	25.8
Total non-residential building	730.8	960.1	576.3	342.1	13.6	32.4	64.3
Total	873.8	1,041.3	636.6	432.7	27.0	43.3	76.9
TOTAL							
New houses	1,887.4	2,171.9	1,311.8	1,934.6	246.8	199.1	236.6
New other residential buildings	392.3	668.1	449.2	494.5	54.6	82.6	47.9
Total new residential building	2,279.7	2,839.9	1,761.0	2,429.1	301.4	281.7	284.6
Alterations and additions to residential buildings	590.1	728.5	454.7	536.4	55.6	56.7	67.3
Hotels, etc.	136.4	157.7	127.8	205.6	4.2	40.1	15.0
Shops	390.4	391.1	237.6	279.1	11.9	30.4	17.4
Factories	230.6	373.8	269.8	176.4	16.6	32.9	20.2
Offices	419.0	404.7	274.8	273.1	40.2	23.4	49.2
Other business premises	340.8	401.1	223.7	262.7	14.6	34.4	32.4
Educational	364.9	411.3	179.3	170.8	16.4	27.6	20.6
Religious	7.5	15.4	10.5	12.3	0.4	1.0	0.8
Health	136.6	257.8	171.7	188.7	4.7	17.9	23.1
Entertainment and recreational	251.5	90.2	66.3	439.1	355.8	6.7	5.9
Miscellaneous	174.6	336.6	255.8	100.3	5.4	19.6	37.9
Total non-residential building	2,452.4	2,839.8	1,817.2	2,108.1	470.2	234.1	222.6
Total	5,322.3	6,408.2	4,033.0	5,073.6	827.2	572.6	574.5

**TABLE 6. NON-RESIDENTIAL BUILDING JOBS APPROVED, BY CLASS OF BUILDING
AND VALUE SIZE GROUPS**

<i>Period</i>	<i>\$50,000 to less than \$200,000</i>		<i>\$200,000 to less than \$500,000</i>		<i>\$500,000 to less than \$1m</i>		<i>\$1m to less than \$5m</i>		<i>\$5m and over</i>		<i>Total</i>	
	<i>No.</i>	<i>Value (\$m)</i>	<i>No.</i>	<i>Value (\$m)</i>	<i>No.</i>	<i>Value (\$m)</i>	<i>No.</i>	<i>Value (\$m)</i>	<i>No.</i>	<i>Value (\$m)</i>	<i>No.</i>	<i>Value (\$m)</i>
HOTELS, ETC.												
1997 December	9	0.7	—	—	2	1.2	2	2.4	—	—	13	4.2
1998 January	5	0.5	3	1.1	1	0.5	2	5.0	2	33.1	13	40.1
February	6	0.7	5	1.3	2	1.5	2	5.9	1	5.5	16	15.0
SHOPS												
1997 December	44	4.2	11	3.2	4	2.8	1	1.8	—	—	60	11.9
1998 January	43	3.8	7	2.2	2	1.2	2	5.3	2	18.0	56	30.4
February	49	4.3	11	3.4	4	2.9	4	6.9	—	—	68	17.4
FACTORIES												
1997 December	30	3.2	25	6.5	5	3.0	2	3.8	—	—	62	16.6
1998 January	29	3.3	13	3.5	4	2.6	5	10.5	1	13.1	52	32.9
February	26	2.9	23	7.1	5	3.4	5	6.8	—	—	59	20.2
OFFICES												
1997 December	47	4.5	14	4.1	4	2.8	—	—	2	28.8	67	40.2
1998 January	27	3.1	14	4.3	4	2.6	5	8.4	1	5.0	51	23.4
February	57	5.8	19	5.5	9	6.2	11	25.2	1	6.5	97	49.2
OTHER BUSINESS PREMISES												
1997 December	31	2.9	13	3.8	9	5.6	2	2.3	—	—	55	14.6
1998 January	15	1.6	14	4.6	8	5.4	8	17.1	1	5.7	46	34.4
February	24	2.2	16	4.5	5	3.5	7	12.8	1	9.5	53	32.4
EDUCATIONAL												
1997 December	17	1.4	16	5.0	3	2.0	5	7.9	—	—	41	16.4
1998 January	20	1.9	12	4.7	1	0.9	3	6.1	2	14.0	38	27.6
February	9	1.0	10	3.0	6	4.5	3	6.4	1	5.6	29	20.6
RELIGIOUS												
1997 December	—	—	2	0.4	—	—	—	—	—	—	2	0.4
1998 January	4	0.4	—	—	1	0.6	—	—	—	—	5	1.0
February	2	0.2	2	0.6	—	—	—	—	—	—	4	0.8
HEALTH												
1997 December	9	0.9	1	0.4	1	0.9	2	2.6	—	—	13	4.7
1998 January	5	0.5	2	0.5	4	2.9	3	4.6	1	9.5	15	17.9
February	7	0.7	4	1.5	1	0.5	8	20.5	—	—	20	23.1
ENTERTAINMENT AND RECREATIONAL												
1997 December	6	0.7	3	0.9	2	1.4	1	1.9	1	351.0	13	355.8
1998 January	9	1.1	2	0.6	4	2.4	2	2.6	—	—	17	6.7
February	8	0.8	5	1.7	6	3.4	—	—	—	—	19	5.9
MISCELLANEOUS												
1997 December	13	1.3	7	1.7	2	1.1	1	1.3	—	—	23	5.4
1998 January	11	1.0	7	2.1	—	—	—	—	1	16.5	19	19.6
February	8	0.8	5	1.3	1	0.8	1	2.4	2	32.7	17	37.9
TOTAL NON-RESIDENTIAL BUILDING												
1997 December	206	19.8	92	26.0	32	20.7	16	24.0	3	379.8	349	470.2
1998 January	168	17.2	74	23.6	29	19.0	30	59.6	11	114.9	312	234.1
February	196	19.5	100	29.8	39	26.8	41	86.8	6	59.7	382	222.6

**TABLE 7. NUMBER AND VALUE OF NEW DWELLING UNITS (a) APPROVED
BY MATERIAL OF OUTER WALLS, FEBRUARY 1998**

<i>Particulars</i>	<i>Private sector</i>		<i>Public sector</i>		<i>Total</i>	
	<i>Number</i>	<i>Value (\$'000)</i>	<i>Number</i>	<i>Value (\$'000)</i>	<i>Number</i>	<i>Value (\$'000)</i>
MELBOURNE STATISTICAL DIVISION (b)						
Houses —						
Brick, stone or concrete	46	5,615	—	—	46	5,615
Brick-veneer	1,275	146,244	4	300	1,279	146,544
Timber	83	8,262	—	—	83	8,262
Fibre cement	3	106	—	—	3	106
Steel, aluminium or other materials	38	4,093	—	—	38	4,093
Not stated	86	10,184	6	860	92	11,044
<i>Total houses</i>	<i>1,531</i>	<i>174,502</i>	<i>10</i>	<i>1,160</i>	<i>1,541</i>	<i>175,663</i>
<i>Other residential buildings</i>	<i>501</i>	<i>45,151</i>	<i>15</i>	<i>795</i>	<i>516</i>	<i>45,946</i>
Total residential buildings	2,032	219,653	25	1,955	2,057	221,609
REST OF VICTORIA (b)						
Houses —						
Brick, stone or concrete	11	1,215	2	180	13	1,395
Brick-veneer	412	45,058	13	1,329	425	46,387
Timber	61	4,841	—	—	61	4,841
Fibre cement	21	1,339	—	—	21	1,339
Steel, aluminium or other materials	20	1,300	—	—	20	1,300
Not stated	39	3,471	25	2,243	64	5,714
<i>Total houses</i>	<i>564</i>	<i>57,224</i>	<i>40</i>	<i>3,752</i>	<i>604</i>	<i>60,976</i>
<i>Other residential buildings</i>	<i>24</i>	<i>1,652</i>	<i>6</i>	<i>336</i>	<i>30</i>	<i>1,987</i>
Total residential buildings	588	58,875	46	4,088	634	62,963
TOTAL VICTORIA						
Houses —						
Brick, stone or concrete	57	6,830	2	180	59	7,010
Brick-veneer	1,687	191,302	17	1,629	1,704	192,931
Timber	144	13,102	—	—	144	13,102
Fibre cement	24	1,445	—	—	24	1,445
Steel, aluminium or other materials	58	5,393	—	—	58	5,393
Not stated	125	13,654	31	3,103	156	16,758
<i>Total houses</i>	<i>2,095</i>	<i>231,726</i>	<i>50</i>	<i>4,913</i>	<i>2,145</i>	<i>236,639</i>
<i>Other residential buildings</i>	<i>525</i>	<i>46,802</i>	<i>21</i>	<i>1,131</i>	<i>546</i>	<i>47,933</i>
Total residential buildings	2,620	278,529	71	6,044	2,691	284,572

(a) Excludes Conversions, etc. (b) For details of changes to Statistical Divisions, please refer to paragraphs 28-30 of the Explanatory Notes.

TABLE 8. BUILDING APPROVALS BY STATISTICAL LOCAL AREAS (a), FEBRUARY 1998

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
MELBOURNE STATISTICAL DIVISION										
Banyule (C)										
Heidelberg	11	—	902	9	—	520	1,249	330	330	3,001
North	24	1	2,834	6	—	500	456	—	—	3,790
Total	35	1	3,736	15	—	1,020	1,705	330	330	6,791
Bayside (C)										
Brighton	16	—	1,815	2	—	500	633	239	239	3,187
South	13	—	1,750	2	—	150	2,507	200	800	5,206
Total	29	—	3,564	4	—	650	3,140	439	1,039	8,393
Boroondara (C)										
Camberwell North	6	—	891	5	—	721	1,160	1,600	1,987	4,759
Camberwell South	15	—	2,244	4	—	380	2,464	268	268	5,356
Hawthorn	4	—	1,759	—	—	—	1,130	1,150	1,537	4,425
Kew	7	—	1,126	7	—	700	918	5,204	5,204	7,948
Total	32	—	6,019	16	—	1,801	5,671	8,221	8,996	22,487
Brimbank (C)										
Keilor	108	—	11,806	11	—	770	783	2,328	2,328	15,687
Sunshine	30	—	3,006	2	—	150	321	2,485	2,760	6,237
Total	138	—	14,812	13	—	920	1,104	4,813	5,088	21,924
Cardinia (S)										
North	6	—	863	—	—	—	157	525	598	1,618
Pakenham	7	—	607	—	—	—	39	—	—	646
South	2	—	236	—	—	—	—	75	75	311
Total	15	—	1,706	—	—	—	196	600	673	2,575
Casey (C)										
Berwick	116	—	12,663	2	—	100	259	—	—	13,022
Cranbourne	32	—	2,422	—	—	—	491	287	287	3,200
Hallam	14	—	1,734	—	—	—	204	250	250	2,188
South	—	—	—	—	—	—	16	—	—	16
Total	162	—	16,818	2	—	100	970	537	537	18,425
Darebin (C)										
Northcote	8	—	1,020	15	—	1,095	1,634	919	919	4,668
Preston	21	1	2,165	25	—	1,450	759	854	854	5,228
Total	29	1	3,185	40	—	2,545	2,393	1,773	1,773	9,896
Frankston (C)										
East	43	—	3,552	—	—	—	274	—	—	3,826
West	18	—	1,892	17	—	659	279	8,686	8,686	11,516
Total	61	—	5,444	17	—	659	553	8,686	8,686	15,342
Glen Eira (C)										
Caulfield	21	—	2,322	14	—	1,274	1,094	750	750	5,440
South	10	—	1,101	—	—	—	1,174	154	154	2,428
Total	31	—	3,423	14	—	1,274	2,268	904	904	7,868
Greater Dandenong (C)										
Dandenong	4	—	490	—	—	—	198	7,346	7,346	8,034
Balance	21	4	2,642	—	—	—	182	3,505	3,505	6,329
Total	25	4	3,132	—	—	—	380	10,851	10,851	14,363
Hobsons Bay (C)										
Altona	57	—	5,244	5	—	360	1,052	4,660	4,660	11,315
Williamstown	19	—	1,982	—	—	—	1,092	546	546	3,620
Total	76	—	7,226	5	—	360	2,143	5,206	5,206	14,935
Hume (C)										
Broadmeadows	25	—	2,230	8	—	470	257	8,609	8,729	11,686
Craigieburn	29	—	3,231	—	—	—	355	2,425	2,425	6,011
Sunbury	21	—	2,346	2	—	100	77	—	—	2,523
Total	75	—	7,806	10	—	570	688	11,034	11,154	20,219
Kingston (C)										
North	21	—	2,398	12	—	945	1,246	5,022	5,022	9,611
South	37	—	4,107	13	—	913	292	—	—	5,312
Total	58	—	6,506	25	—	1,858	1,538	5,022	5,022	14,923

See footnotes at end of table.

TABLE 8. BUILDING APPROVALS BY STATISTICAL LOCAL AREAS (a), FEBRUARY 1998—continued

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
MELBOURNE STATISTICAL DIVISION — continued										
Knox (C)										
North	39	—	3,997	12	—	785	1,446	1,310	1,480	7,707
South	57	—	7,449	—	—	—	190	2,487	2,487	10,125
Total	96	—	11,445	12	—	785	1,636	3,797	3,967	17,832
Manningham (C)										
East	4	—	846	—	—	—	346	—	—	1,192
West	29	—	4,327	12	—	1,189	1,185	200	971	7,672
Total	33	—	5,173	12	—	1,189	1,531	200	971	8,863
Maribyrnong (C)	11	4	1,351	4	15	1,075	401	1,005	1,350	4,177
Maroondah (C)										
Croydon	29	—	3,632	9	—	650	448	410	410	5,140
Ringwood	14	—	2,246	14	—	960	309	—	—	3,514
Total	43	—	5,878	23	—	1,610	756	410	410	8,654
Melbourne (C)										
Inner	—	—	—	—	—	—	10	27,900	40,123	40,133
Remainder	5	—	804	9	—	681	2,284	7,309	13,458	17,227
Total	5	—	804	9	—	681	2,294	35,209	53,581	57,360
Melton (S)										
East	22	—	2,921	—	—	—	—	—	—	2,921
Balance	31	—	3,136	—	—	—	180	2,700	2,775	6,091
Total	53	—	6,057	—	—	—	180	2,700	2,775	9,012
Monash (C)										
South-West	22	—	2,201	14	—	1,345	520	1,045	1,045	5,111
Waverley East	6	—	1,021	4	—	360	324	—	—	1,705
Waverley West	31	—	3,675	28	—	3,780	484	2,850	2,850	10,789
Total	59	—	6,897	46	—	5,485	1,328	3,895	3,895	17,605
Moonee Valley (C)										
Essendon	15	—	1,474	39	—	2,565	2,446	1,150	1,150	7,635
West	20	—	2,426	2	—	150	201	302	302	3,079
Total	35	—	3,900	41	—	2,715	2,647	1,452	1,452	10,714
Moreland (C)										
Brunswick	7	—	699	78	—	8,100	5,826	—	—	14,625
Coburg	4	—	432	2	—	120	598	450	450	1,600
North	23	—	1,351	9	—	359	336	290	290	2,336
Total	34	—	2,482	89	—	8,579	6,761	740	740	18,562
Mornington Peninsula (S)										
East	8	—	814	—	—	—	178	534	534	1,526
South	32	—	3,733	—	—	—	534	200	200	4,467
West	44	—	5,389	—	—	—	611	—	580	6,580
Total	84	—	9,936	—	—	—	1,322	734	1,314	12,572
Nillumbik (S)										
South	4	—	655	7	—	650	398	—	—	1,703
South-West	9	—	1,627	—	—	—	212	200	200	2,039
Balance	1	—	240	—	—	—	191	50	50	481
Total	14	—	2,522	7	—	650	801	250	250	4,223
Port Phillip (C)										
St Kilda	7	—	716	—	—	—	965	957	957	2,638
West	7	—	779	2	—	300	1,605	6,208	6,283	8,966
Total	14	—	1,495	2	—	300	2,569	7,165	7,240	11,604
Stonnington (C)										
Prahan	1	—	378	20	—	4,322	1,705	597	597	7,002
Malvern	5	—	3,539	9	—	1,068	2,783	452	452	7,843
Total	6	—	3,918	29	—	5,390	4,488	1,049	1,049	14,844
Whitehorse (C)										
Box Hill	13	—	1,369	3	—	210	706	127	5,947	8,232
Nunawading East	11	—	1,556	—	—	—	190	120	120	1,866
Nunawading West	15	—	1,882	4	—	300	489	80	80	2,751
Total	39	—	4,807	7	—	510	1,385	327	6,147	12,849

See footnotes at end of table.

TABLE 8. BUILDING APPROVALS BY STATISTICAL LOCAL AREAS (a), FEBRUARY 1998—continued

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
MELBOURNE STATISTICAL DIVISION — continued										
Whittlesea (C)										
North	13	—	1,528	—	—	—	115	—	—	1,643
South	84	—	9,203	2	—	120	452	4,119	4,119	13,894
Total	97	—	10,731	2	—	120	567	4,119	4,119	15,537
Wyndham (C)										
North-East	7	—	810	—	—	—	—	—	—	810
Werribee	60	—	6,210	2	—	100	415	1,730	1,730	8,455
Balance	6	—	717	—	—	—	61	3,042	3,042	3,821
Total	73	—	7,737	2	—	100	476	4,772	4,772	13,086
Yarra (C)										
North	3	—	224	37	—	3,484	1,701	4,195	4,195	9,603
Richmond	1	—	50	18	—	1,516	649	3,831	3,831	6,045
Total	4	—	274	55	—	5,000	2,349	8,026	8,026	15,648
Yarra Ranges (S) — Pt A (d)										
Central	5	—	563	—	—	—	202	—	—	765
North	3	—	319	—	—	—	102	1,300	1,300	1,721
South-West	57	—	5,999	—	—	—	1,514	2,158	2,158	9,671
Total	65	—	6,880	—	—	—	1,818	3,458	3,458	12,157
Melbourne (SD)	1,531	10	175,663	501	15	45,946	56,058	137,723	165,773	443,441
BARWON STATISTICAL DIVISION										
Colac-Otway (S)										
Colac	2	—	421	—	—	—	31	2,351	2,851	3,303
North	1	—	160	—	—	—	—	340	340	500
South	1	—	93	—	—	—	16	90	90	199
Total	4	—	674	—	—	—	47	2,781	3,281	4,002
Golden Plains (S)										
North-West	3	—	347	—	—	—	47	—	—	394
South-East	6	—	477	—	—	—	—	—	—	477
Total	9	—	824	—	—	—	47	—	—	871
Greater Geelong (C)										
Part A										
Bellarine — Inner	13	—	1,536	—	—	—	128	—	—	1,664
Corio — Inner	28	—	2,934	—	—	—	95	1,070	1,070	4,099
Geelong	1	—	74	2	—	100	128	545	1,138	1,440
Geelong West	5	—	389	—	—	—	107	—	—	496
Newtown	1	—	170	—	—	—	860	2,000	2,000	3,030
South Barwon — Inner	33	—	3,365	2	—	140	309	210	210	4,024
Part B	16	—	1,738	—	—	—	204	—	60	2,002
Part C	—	—	—	—	—	—	—	—	—	—
Total	97	—	10,206	4	—	240	1,830	3,825	4,478	16,755
Queenscliffe (B)	—	—	—	—	—	—	20	118	118	138
Surf Coast (S)										
East	9	—	1,108	—	—	—	325	272	272	1,705
West	5	—	465	—	—	—	390	—	520	1,375
Total	14	—	1,573	—	—	—	715	272	792	3,080
Barwon (SD)	124	—	13,278	4	—	240	2,659	6,996	8,669	24,846

See footnotes at end of table.

TABLE 8. BUILDING APPROVALS BY STATISTICAL LOCAL AREAS (a), FEBRUARY 1998—continued

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
WESTERN DISTRICT STATISTICAL DIVISION										
Corangamite (S)										
North	3	—	238	—	—	—	20	—	—	258
South	—	—	—	—	—	—	45	—	—	45
Total	3	—	238	—	—	—	65	—	—	303
Glenelg (S)										
Heywood	—	—	—	—	—	—	54	55	55	109
North	—	—	—	—	—	—	—	—	—	—
Portland	—	—	—	—	—	—	42	100	100	142
Total	—	—	—	—	—	—	96	155	155	251
Moyne (S)										
North-East	—	—	—	—	—	—	10	—	—	10
North-West	—	—	—	—	—	—	34	—	—	34
South	2	—	335	—	—	—	30	60	60	425
Total	2	—	335	—	—	—	74	60	60	469
Southern Grampians (S)										
Hamilton	2	—	134	—	—	—	123	365	365	622
Wannon	—	—	—	—	—	—	39	—	90	129
Balance	1	—	145	—	—	—	32	—	—	177
Total	3	—	279	—	—	—	194	365	455	928
Warrnambool (C)	12	—	1,373	—	—	—	103	1,997	1,997	3,473
Lady Julia Percy Island	—	—	—	—	—	—	—	—	—	—
Western District (SD)	20	—	2,225	—	—	—	531	2,577	2,667	5,424
CENTRAL HIGHLANDS STATISTICAL DIVISION										
Ararat (RC)	3	—	291	—	—	—	40	—	—	331
Ballarat (C)										
Central	2	—	173	2	—	300	398	160	25,310	26,181
Inner North	8	—	782	4	—	291	20	—	—	1,092
North	—	—	—	—	—	—	—	—	—	—
South	10	—	1,010	—	—	—	112	—	—	1,123
Total	20	—	1,965	6	—	591	531	160	25,310	28,396
Hepburn (S)										
East	6	—	395	—	—	—	119	376	376	890
West	4	—	362	—	—	—	129	—	—	491
Total	10	—	757	—	—	—	248	376	376	1,380
Moorabool (S)										
Bacchus Marsh	12	—	1,131	—	—	—	148	—	—	1,279
Ballan	2	—	90	—	—	—	—	—	—	90
West	—	—	—	—	—	—	85	—	—	85
Total	14	—	1,221	—	—	—	233	—	—	1,454
Pyrenees (S)										
North	3	—	268	—	—	—	—	200	200	468
South	1	—	64	—	—	—	—	—	—	64
Total	4	—	332	—	—	—	—	200	200	532
Central Highlands (SD)	51	—	4,565	6	—	591	1,052	735	25,885	32,092

TABLE 8. BUILDING APPROVALS BY STATISTICAL LOCAL AREAS (a), FEBRUARY 1998—continued

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
WIMMERA STATISTICAL DIVISION										
Hindmarsh (S)	1	—	170	—	—	—	—	—	—	170
Horsham (RC)										
Central	6	—	634	—	—	—	57	283	283	974
Balance	2	—	220	—	—	—	23	—	—	243
Total	8	—	854	—	—	—	79	283	283	1,216
Northern Grampians (S)										
St Arnaud	—	—	—	—	—	—	240	—	—	240
Stawell	—	1	307	—	—	—	—	775	775	1,082
Total	—	1	307	—	—	—	240	775	775	1,321
West Wimmera (S)	1	—	134	—	—	—	—	—	—	134
Yarriambiack (S)										
North	—	—	—	—	—	—	40	—	50	90
South	—	—	—	—	—	—	—	—	—	—
Total	—	—	—	—	—	—	40	—	50	90
Wimmera (SD)	10	1	1,464	—	—	—	359	1,058	1,108	2,931
MALLEE STATISTICAL DIVISION										
Buloke (S)										
North	1	—	47	—	—	—	90	—	—	137
South	1	—	103	—	—	—	—	50	50	153
Total	2	—	150	—	—	—	90	50	50	290
Gannawarra (S)	—	—	—	—	—	—	83	—	—	83
Mildura (RC)										
Pt A	20	—	2,265	3	—	215	129	76	1,117	3,726
Pt B	1	—	45	—	—	—	—	—	—	45
Total	21	—	2,310	3	—	215	129	76	1,117	3,771
Swan Hill (RC)										
Central	8	—	830	—	—	—	38	520	520	1,389
Robinvale	1	—	104	—	—	—	54	—	—	158
Balance	1	—	60	—	—	—	90	—	318	468
Total	10	—	994	—	—	—	182	520	838	2,014
Mallee (SD)	33	—	3,454	3	—	215	484	646	2,004	6,158

See footnotes at end of table.

TABLE 8. BUILDING APPROVALS BY STATISTICAL LOCAL AREAS (a), FEBRUARY 1998—continued

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
LODDON STATISTICAL DIVISION										
Central Goldfields (S)										
Maryborough	1	—	92	—	—	—	103	—	—	195
Balance	2	—	152	—	—	—	16	—	—	168
Total	3	—	244	—	—	—	119	—	—	363
Greater Bendigo (C)										
Part A										
Central	7	—	536	—	—	—	12	—	220	768
Eaglehawk	1	—	110	—	—	—	—	—	—	110
Inner East	2	—	209	—	6	336	159	163	163	866
Inner North	1	—	97	—	—	—	12	178	178	287
Inner West	6	—	501	—	—	—	—	—	1,872	2,373
Strathfieldsaye	9	—	833	—	—	—	20	—	—	853
Part B	4	—	356	—	—	—	67	—	—	423
Total	30	—	2,642	—	6	336	270	341	2,433	5,681
Loddon (S)										
North	—	—	—	—	—	—	18	—	—	18
South	2	—	147	—	—	—	44	—	—	191
Total	2	—	147	—	—	—	62	—	—	209
Macedon Ranges (S)										
Kyneton	5	—	792	—	—	—	45	71	71	908
Romsey	3	—	302	—	—	—	—	—	—	302
Balance	24	—	2,861	—	—	—	355	100	100	3,317
Total	32	—	3,956	—	—	—	400	171	171	4,526
Mount Alexander (S)										
Castlemaine	3	—	180	—	—	—	76	—	—	256
Balance	3	—	217	—	—	—	32	—	—	249
Total	6	—	397	—	—	—	108	—	—	505
Loddon-Campaspe (SD)	73	—	7,387	—	6	336	958	512	2,604	11,284

See footnotes at end of table.

TABLE 8. BUILDING APPROVALS BY STATISTICAL LOCAL AREAS (a), FEBRUARY 1998—continued

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
GOULBURN STATISTICAL DIVISION										
Campaspe (S)										
Echuca	4	24	2,398	—	—	—	167	2,083	2,083	4,648
Kyabram	3	—	318	—	—	—	35	—	—	353
Rochester	1	—	57	—	—	—	57	—	—	115
South	1	—	95	—	—	—	19	—	—	114
Total	9	24	2,869	—	—	—	279	2,083	2,083	5,230
Delatite (S)										
Benalla	1	—	103	—	—	—	43	—	—	146
North	—	—	—	—	—	—	16	—	—	16
South	7	—	734	—	—	—	90	—	—	824
Total	8	—	837	—	—	—	149	—	—	986
Greater Shepparton (C)										
Part A	13	—	1,490	2	—	120	120	—	2,179	3,909
Part B										
East	7	—	948	—	—	—	—	—	—	948
West	1	—	91	—	—	—	118	—	—	209
Total	21	—	2,529	2	—	120	239	—	2,179	5,066
Mitchell (S)										
North	1	—	98	—	—	—	137	—	—	234
South	14	—	1,449	—	—	—	478	—	—	1,927
Total	15	—	1,546	—	—	—	615	—	—	2,161
Moirra (S)										
East	4	—	476	—	—	—	122	—	—	597
West	7	—	685	2	—	156	70	140	140	1,051
Total	11	—	1,160	2	—	156	192	140	140	1,649
Murrindindi (S)										
East	2	—	115	—	—	—	10	—	—	125
West	2	—	117	—	—	—	83	—	—	200
Total	4	—	232	—	—	—	93	—	—	325
Strathbogie (S)	8	—	572	—	—	—	218	190	440	1,230
Goulburn (SD)	76	24	9,745	4	—	276	1,784	2,413	4,841	16,647
OVENS-MURRAY STATISTICAL DIVISION										
Alpine (S)										
East	12	—	1,496	—	—	—	97	455	455	2,047
West	3	—	325	—	—	—	152	—	—	477
Total	15	—	1,820	—	—	—	249	455	455	2,524
Indigo (S)										
Part A	3	—	135	5	—	210	161	—	—	506
Part B	—	—	—	—	—	—	37	100	100	137
Total	3	—	135	5	—	210	198	100	100	643
Wangaratta (RC)										
Central	6	—	1,014	—	—	—	238	450	450	1,702
North	3	—	238	—	—	—	121	—	—	360
South	2	—	170	—	—	—	121	—	232	523
Total	11	—	1,422	—	—	—	480	450	682	2,584
Towong (S)										
Part A	1	—	140	—	—	—	50	—	—	190
Part B	—	—	—	—	—	—	—	—	—	—
Total	1	—	140	—	—	—	50	—	—	190
Wodonga (RC)	20	—	2,171	2	—	120	343	430	430	3,064
Ovens-Murray (SD)	50	—	5,689	7	—	330	1,319	1,435	1,667	9,004

See footnotes at end of table.

TABLE 8. BUILDING APPROVALS BY STATISTICAL LOCAL AREAS (a), FEBRUARY 1998—continued

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
EAST GIPPSLAND STATISTICAL DIVISION										
East Gippsland (S)										
Bairnsdale	10	—	894	—	—	—	287	1,160	2,750	3,931
Orbost	2	—	202	—	—	—	26	—	—	228
South-West	3	—	390	—	—	—	30	—	—	420
Balance	—	—	—	—	—	—	—	—	—	—
Total	15	—	1,487	—	—	—	342	1,160	2,750	4,579
Wellington (S)										
Alberton	2	—	165	—	—	—	35	50	50	250
Avon	—	—	—	—	—	—	32	—	—	32
Maffra	2	—	132	—	—	—	87	390	390	609
Rosedale	4	2	533	—	—	—	95	—	—	628
Sale	6	13	1,824	—	—	—	123	—	—	1,948
Total	14	15	2,654	—	—	—	373	440	440	3,466
East Gippsland (SD)	29	15	4,141	—	—	—	715	1,600	3,190	8,046
GIPPSLAND STATISTICAL DIVISION										
Bass Coast (S)										
Phillip Island	20	—	1,814	—	—	—	151	750	750	2,714
Balance	17	—	1,275	—	—	—	162	275	275	1,713
Total	37	—	3,089	—	—	—	313	1,025	1,025	4,427
Baw Baw (S)										
Part A	—	—	—	—	—	—	73	—	—	73
Part B										
East	—	—	—	—	—	—	30	300	300	330
West	19	—	1,969	—	—	—	152	250	250	2,371
Total	19	—	1,969	—	—	—	255	550	550	2,774
La Trobe (S)										
Moe	1	—	120	—	—	—	279	—	—	399
Morwell	5	—	498	—	—	—	60	608	608	1,166
Traralgon	24	—	2,274	—	—	—	143	—	1,578	3,995
Balance	—	—	—	—	—	—	10	—	—	10
Total	30	—	2,892	—	—	—	492	608	2,186	5,570
South Gippsland (S)										
Central	7	—	651	—	—	—	156	—	—	806
East	3	—	177	—	—	—	158	—	—	335
West	2	—	251	—	—	—	45	416	416	712
Total	12	—	1,079	—	—	—	359	416	416	1,853
Yarra Ranges (S) — Pt B (d)	—	—	—	—	—	—	—	—	—	—
Bass Strait Islands	—	—	—	—	—	—	—	—	—	—
French Island	—	—	—	—	—	—	—	—	—	—
Yallourn Works Area	—	—	—	—	—	—	—	—	—	—
Gippsland (SD)	98	—	9,029	—	—	—	1,419	2,599	4,177	14,624
VICTORIA										
Victoria	2,095	50	236,639	525	21	47,933	67,338	158,294	222,586	574,497

(a) For details of changes to Statistical Local Areas, please refer to paragraphs 28-30 of the Explanatory Notes. (b) Excludes Conversions, etc. (c) Details relating to individual classes of building are available on request. (d) The Shire of Yarra Ranges comprises four Statistical Local Areas (SLA). Three of these are included in the Melbourne Statistical Division and one is included in the Gippsland Statistical Division. Approvals data for these SLAs are shown in Table 8 under the relevant Statistical Divisions.

TABLE 9. BUILDING APPROVALS BY SELECTED STATISTICAL SUBDIVISIONS (a), FEBRUARY 1998

Statistical Local Area	New residential buildings (b)						Alterations and additions to residential buildings (\$'000)	Non-residential building (c)		
	Houses			Other residential buildings				Private sector (\$'000)	Total (\$'000)	Total building (\$'000)
	Private sector (number)	Public sector (number)	Total value (\$'000)	Private sector (number)	Public sector (number)	Total value (\$'000)				
GREATER GEELONG CITY PART A STATISTICAL SUBDIVISION										
Greater Geelong (C) —										
— Bellarine — Inner	13	—	1,536	—	—	—	128	—	—	1,664
— Corio — Inner	28	—	2,934	—	—	—	95	1,070	1,070	4,099
— Geelong	1	—	74	2	—	100	128	545	1,138	1,440
— Geelong West	5	—	389	—	—	—	107	—	—	496
— Newtown	1	—	170	—	—	—	860	2,000	2,000	3,030
— South Barwon — Inner	33	—	3,365	2	—	140	309	210	210	4,024
Greater Geelong City Part A (SSD)	81	—	8,468	4	—	240	1,627	3,825	4,418	14,753
BALLARAT CITY STATISTICAL SUBDIVISION										
Ballarat (C) —										
— Central	2	—	173	2	—	300	398	160	25,310	26,181
— Inner North	8	—	782	4	—	291	20	—	—	1,092
— North	—	—	—	—	—	—	—	—	—	—
— South	10	—	1,010	—	—	—	112	—	—	1,123
Ballarat City (SSD)	20	—	1,965	6	—	591	531	160	25,310	28,396
MILDURA RURAL CITY PART A STATISTICAL SUBDIVISION										
Mildura (RC) — Pt A	20	—	2,265	3	—	215	129	76	1,117	3,726
Mildura Rural City Part A (SSD)	20	—	2,265	3	—	215	129	76	1,117	3,726
GREATER BENDIGO CITY PART A STATISTICAL SUBDIVISION										
Greater Bendigo (C) —										
— Central	7	—	536	—	—	—	12	—	220	768
— Eaglehawk	1	—	110	—	—	—	—	—	—	110
— Inner East	2	—	209	—	6	336	159	163	163	866
— Inner North	1	—	97	—	—	—	12	178	178	287
— Inner West	6	—	501	—	—	—	—	—	1,872	2,373
— Strathfieldsaye	9	—	833	—	—	—	20	—	—	853
Greater Bendigo City Part A (SSD)	26	—	2,286	—	6	336	203	341	2,433	5,258
GREATER SHEPPARTON CITY PART A STATISTICAL SUBDIVISION										
Greater Shepparton (C) Pt A	13	—	1,490	2	—	120	120	—	2,179	3,909
Shepparton City Part A (SSD)	13	—	1,490	2	—	120	120	—	2,179	3,909
WODONGA STATISTICAL SUBDIVISION										
Indigo (S) — Pt A	3	—	135	5	—	210	161	—	—	506
Towong (S) — Pt A	1	—	140	—	—	—	50	—	—	190
Wodonga (RC)	20	—	2,171	2	—	120	343	430	430	3,064
Wodonga (SSD)	24	—	2,446	7	—	330	553	430	430	3,759
LA TROBE VALLEY STATISTICAL SUBDIVISION										
Baw Baw (S) — Pt A	—	—	—	—	—	—	—	—	—	—
La Trobe (S) —										
— Moe	1	—	120	—	—	—	279	—	—	399
— Morwell	5	—	498	—	—	—	60	608	608	1,166
— Traralgon	24	—	2,274	—	—	—	143	—	1,578	3,995
— Balance	—	—	—	—	—	—	—	—	—	—
Yallourn Works Area	—	—	—	—	—	—	—	—	—	—
La Trobe Valley (SSD)	30	—	2,892	—	—	—	565	608	2,186	5,643

(a) For details of changes to Statistical Local Areas and Statistical Subdivisions, please refer to paragraphs 28-30 of the Explanatory Notes. (b) Excludes Conversions, etc.

(c) Details relating to individual classes of building are available on request.

TABLE 10. VALUE OF NON-RESIDENTIAL BUILDING JOBS APPROVED BY CLASS OF BUILDING AND STATISTICAL DIVISION (a)
(\$'000)

<i>Period</i>	<i>Hotels etc.</i>	<i>Shops</i>	<i>Factories</i>	<i>Offices</i>	<i>Other business premises</i>	<i>Educational</i>	<i>Religious</i>	<i>Health</i>	<i>Entertainment and recreational</i>	<i>Miscellaneous</i>	<i>Total</i>
MELBOURNE STATISTICAL DIVISION											
1994-95	27,930	314,547	180,794	326,322	186,075	231,103	10,880	84,398	208,521	85,198	1,655,767
1995-96	119,585	286,401	150,986	379,055	282,968	308,468	6,152	77,392	222,735	100,765	1,934,508
1996-97	147,318	325,549	265,862	353,644	351,294	322,293	13,059	175,611	64,177	284,155	2,302,962
1996 December	47,108	17,956	18,479	26,752	15,935	11,918	800	8,044	3,487	11,645	162,124
1997 January	16,445	34,372	18,722	21,519	31,349	18,936	3,907	9,895	4,409	42,560	202,114
February	4,620	31,345	46,859	26,476	29,013	15,211	673	7,963	7,365	102,455	271,981
December	1,135	9,898	13,713	39,433	9,968	13,953	435	2,043	355,612	4,365	450,555
1998 January	37,042	28,278	24,325	21,287	30,399	23,944	912	13,345	5,603	17,927	203,063
February	12,505	10,060	17,969	47,912	29,757	15,944	250	15,703	3,268	12,406	165,773
BARWON STATISTICAL DIVISION											
1994-95	11,770	10,598	10,028	9,922	6,010	28,427	685	1,334	8,698	797	88,270
1995-96	1,550	20,026	23,299	6,910	12,502	13,382	179	9,806	5,190	2,627	95,471
1996-97	1,806	22,431	14,978	12,791	5,078	7,655	329	12,552	3,706	2,140	83,466
1996 December	—	1,929	979	55	378	1,125	—	1,925	698	1,216	8,306
1997 January	330	250	220	1,390	277	698	—	120	80	—	3,365
February	—	351	2,320	3,730	1,355	—	—	2,866	1,360	—	11,983
December	—	510	60	—	989	510	—	—	—	155	2,224
1998 January	—	100	3,570	353	1,575	1,332	—	—	—	135	7,066
February	310	4,168	852	—	335	890	—	1,020	1,093	—	8,669
WESTERN DISTRICT STATISTICAL DIVISION											
1994-95	100	2,313	3,908	2,075	1,558	2,609	1,000	2,350	2,632	105	18,651
1995-96	3,842	3,389	7,189	2,440	913	5,471	159	10,786	984	2,802	37,975
1996-97	140	2,742	22,669	2,578	3,825	512	273	4,648	819	3,001	41,208
1996 December	—	112	50	620	428	—	—	—	135	245	1,590
1997 January	—	139	7,250	300	160	—	—	—	—	130	7,979
February	—	300	200	193	—	—	—	383	—	134	1,210
December	—	—	—	—	200	—	—	—	—	—	200
1998 January	—	300	57	185	—	465	—	76	50	180	1,313
February	—	100	—	97	115	—	365	1,900	90	—	2,667
CENTRAL HIGHLANDS STATISTICAL DIVISION											
1994-95	4,270	4,679	4,417	7,917	2,273	8,054	410	897	1,065	2,658	36,640
1995-96	2,013	11,551	2,796	5,284	4,524	3,441	—	8,433	3,802	2,885	44,730
1996-97	985	6,286	2,795	3,657	2,792	10,997	—	3,027	6,475	1,299	38,312
1996 December	—	3,262	221	3,247	234	—	—	—	242	—	7,206
1997 January	250	—	342	57	300	1,100	—	—	—	—	2,049
February	70	756	119	—	75	650	—	—	1,500	107	3,277
December	51	75	315	71	661	—	—	125	—	—	1,298
1998 January	—	—	143	180	625	80	—	—	—	60	1,088
February	—	313	—	222	200	—	—	—	—	25,150	25,885

TABLE 10. VALUE OF NON-RESIDENTIAL BUILDING JOBS APPROVED BY CLASS OF BUILDING AND STATISTICAL DIVISION (a)—continued
(\$'000)

<i>Period</i>	<i>Hotels etc.</i>	<i>Shops</i>	<i>Factories</i>	<i>Offices</i>	<i>Other business premises</i>	<i>Educa- tional</i>	<i>Religious</i>	<i>Health</i>	<i>Enterta- inment and recreati- onal</i>	<i>Miscel- laneous</i>	<i>Total</i>
WIMMERA STATISTICAL DIVISION											
1994-95	65	490	1,004	216	610	3,437	283	17,786	305	860	25,057
1995-96	172	442	1,275	2,831	648	2,899	—	1,220	2,220	1,605	13,312
1996-97	227	1,151	2,044	1,812	970	185	—	1,810	1,209	1,246	10,654
1996 December	—	—	1,148	—	—	—	—	—	—	—	1,148
1997 January	—	—	—	—	218	—	—	—	—	412	630
February	—	242	—	—	—	—	—	—	80	470	792
December	—	—	300	—	75	—	—	—	—	80	455
1998 January	—	60	—	—	200	—	—	—	—	100	360
February	775	—	—	283	—	—	—	—	—	50	1,108
MALLEE STATISTICAL DIVISION											
1994-95	845	1,365	735	1,245	1,123	6,215	—	774	80	86	12,468
1995-96	420	6,511	3,685	3,312	2,544	5,527	112	1,838	1,368	1,318	26,635
1996-97	217	4,029	2,314	1,147	4,689	6,639	171	1,172	—	1,596	21,973
1996 December	—	730	50	160	650	200	—	—	—	—	1,790
1997 January	217	600	340	—	695	—	—	—	—	—	1,852
February	—	355	138	—	110	4,259	120	—	—	318	5,300
December	—	650	70	550	1,056	517	—	1,250	—	100	4,193
1998 January	—	353	—	800	—	—	—	1,724	—	—	2,877
February	—	—	445	151	1,041	318	—	—	50	—	2,004
LODDON STATISTICAL DIVISION											
1994-95	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1995-96	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1996-97	70	1,835	2,226	2,174	3,894	8,490	358	5,575	1,968	13,295	39,886
1996 December	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1997 January	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
February	—	137	235	53	904	5,900	—	—	—	9,360	16,589
December	600	350	320	—	100	250	—	410	80	400	2,510
1998 January	65	126	250	166	—	66	83	800	536	791	2,883
February	—	163	178	100	—	1,872	—	100	—	190	2,603
GOULBURN STATISTICAL DIVISION											
1994-95	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1995-96	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1996-97	3,265	5,629	16,652	5,196	11,991	21,381	369	2,117	2,757	14,985	84,344
1996 December	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1997 January	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
February	—	240	114	2,129	2,600	9,180	—	—	64	10,671	24,998
December	90	50	221	—	137	62	—	850	—	178	1,589
1998 January	—	730	—	180	270	359	—	282	—	180	2,001
February	—	1,762	190	111	60	—	—	2,528	190	—	4,841

TABLE 10. VALUE OF NON-RESIDENTIAL BUILDING JOBS APPROVED BY CLASS OF BUILDING AND STATISTICAL DIVISION (a)—continued
(\$'000)

<i>Period</i>	<i>Hotels etc.</i>	<i>Shops</i>	<i>Factories</i>	<i>Offices</i>	<i>Other business premises</i>	<i>Educa- tional</i>	<i>Religious</i>	<i>Health</i>	<i>Enterta- ment and recreati- onal</i>	<i>Miscel- laneous</i>	<i>Total</i>
OVENS MURRAY STATISTICAL DIVISION											
1994-95	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1995-96	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1996-97	2,292	3,463	3,672	9,395	2,136	1,999	60	3,460	973	2,796	30,247
1996 December	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1997 January	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
February	—	525	500	—	—	280	—	—	—	890	2,195
December	2,360	275	1,177	140	1,350	—	—	—	—	80	5,382
1998 January	3,000	185	4,000	150	760	—	—	—	—	243	8,338
February	455	—	350	100	330	—	200	—	232	—	1,667
EAST GIPPSLAND STATISTICAL DIVISION											
1994-95	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1995-96	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1996-97	105	4,199	725	867	2,953	6,699	—	2,577	558	1,697	20,379
1996 December	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
1997 January	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
February	—	100	65	200	1,550	2,000	—	162	75	—	4,152
December	—	—	235	—	—	343	—	—	147	—	726
1998 January	—	—	80	—	—	—	—	—	—	—	80
February	—	350	50	200	—	1,590	—	390	560	50	3,190
GIPPSLAND STATISTICAL DIVISION											
1994-95	1,412	9,754	6,871	5,081	4,511	3,630	152	284	2,495	3,146	37,337
1995-96	1,050	7,931	22,345	1,883	4,728	7,258	90	530	4,389	1,900	52,104
1996-97	406	6,710	21,609	9,020	3,986	17,009	165	2,997	2,627	6,487	71,017
1996 December	—	142	19,661	—	254	4,080	—	692	—	150	24,980
1997 January	—	530	727	90	50	110	165	—	—	1,190	2,861
February	50	184	50	650	90	3,200	—	—	—	65	4,289
December	—	84	140	—	90	730	—	50	—	—	1,094
1998 January	—	295	500	80	600	1,400	—	1,700	500	—	5,075
February	910	491	198	60	528	—	—	1,500	400	90	4,177
TOTAL VICTORIA											
1994-95	48,126	358,756	219,224	361,187	218,315	303,732	15,351	121,046	230,444	99,015	1,975,197
1995-96	136,388	390,446	230,616	419,038	340,836	364,917	7,476	136,564	251,475	174,633	2,452,389
1996-97	157,717	391,128	373,817	404,650	401,094	411,291	15,388	257,829	90,245	336,600	2,839,760
1996 December	47,354	24,432	40,753	31,131	19,695	24,160	877	13,535	4,844	14,846	221,628
1997 January	17,417	37,316	29,132	23,771	33,418	21,194	4,072	10,015	4,489	45,776	226,599
February	4,740	34,885	61,747	33,430	35,698	40,996	793	11,805	10,544	124,770	359,408
December	4,236	11,892	16,551	40,194	14,626	16,366	435	4,728	355,839	5,358	470,226
1998 January	40,107	30,426	32,925	23,382	34,429	27,646	995	17,927	6,689	19,616	234,143
February	14,955	17,407	20,232	49,237	32,366	20,614	815	23,141	5,883	37,936	222,586

(a) As a result of changes to Statistical Division boundaries, data for the periods prior to July 1995 are not directly comparable to data for the periods from July 1995 onward. The Statistical Divisions of Loddon (formerly Loddon- Campaspe), Goulburn, Ovens-Murray, and East Gippsland were significantly affected by the changes, but for the remaining Statistical Divisions the changes were relatively minor.

**TABLE 11. NEW DWELLING UNITS (a) APPROVED, BY TYPE AND STATISTICAL DIVISION (b)
FEBRUARY 1998**

Statistical Division	New other residential building								Total new residential building	
	New houses	Semi-detached, row or terrace houses, townhouses, etc. of			Flats, units or apartments in a building of					
		1 storey	2 or more storeys	Total	1-2 storeys	3 storeys	4 or more storeys	Total		
										Total
NUMBER OF DWELLING UNITS										
Melbourne	1,541	189	251	440	28	14	34	76	516	2,057
Barwon	124	4	—	4	—	—	—	—	4	128
Western District	20	—	—	—	—	—	—	—	—	20
Central Highlands	51	4	—	4	2	—	—	2	6	57
Wimmera	11	—	—	—	—	—	—	—	—	11
Mallee	33	—	—	—	3	—	—	3	3	36
Loddon	73	6	—	6	—	—	—	—	6	79
Goulburn	100	4	—	4	—	—	—	—	4	104
Ovens-Murray	50	5	—	5	2	—	—	2	7	57
East Gippsland	44	—	—	—	—	—	—	—	—	44
Gippsland	98	—	—	—	—	—	—	—	—	98
Victoria	2,145	212	251	463	35	14	34	83	546	2,691
VALUE (\$'000)										
Melbourne	175,663	12,964	23,833	36,797	2,149	800	6,200	9,149	45,946	221,609
Barwon	13,278	240	—	240	—	—	—	—	240	13,518
Western District	2,225	—	—	—	—	—	—	—	—	2,225
Central Highlands	4,565	291	—	291	300	—	—	300	591	5,155
Wimmera	1,464	—	—	—	—	—	—	—	—	1,464
Mallee	3,454	—	—	—	215	—	—	215	215	3,669
Loddon	7,387	336	—	336	—	—	—	—	336	7,722
Goulburn	9,745	276	—	276	—	—	—	—	276	10,021
Ovens-Murray	5,689	210	—	210	120	—	—	120	330	6,019
East Gippsland	4,141	—	—	—	—	—	—	—	—	4,141
Gippsland	9,029	—	—	—	—	—	—	—	—	9,029
Victoria	236,639	14,316	23,833	38,149	2,784	800	6,200	9,784	47,933	284,572

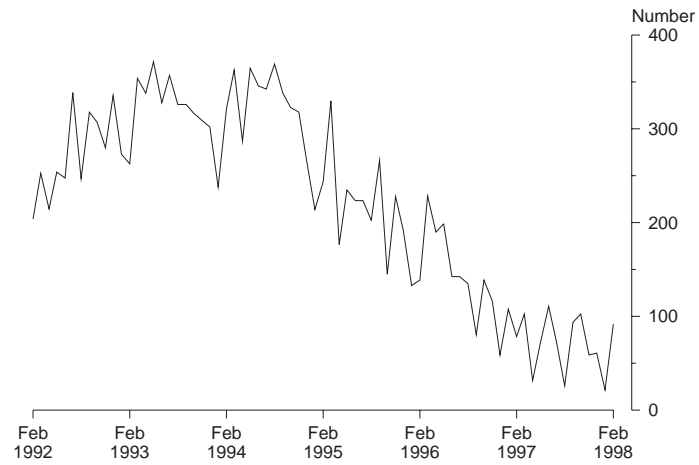
(a) Excludes Conversions, etc. (b) For details of changes to Statistical Divisions, please refer to paragraphs 28-30 of the Explanatory Notes.

**TABLE 12. NUMBER OF DUAL OCCUPANCY (a) DWELLING UNITS APPROVED BY
STATISTICAL DIVISIONS (SD) AND SELECTED SUBDIVISIONS (SSD)**

Statistical division / subdivision (b)	1995-96	1996-97	July - Feb. 1997-98	Feb. 1998
Melbourne (SD)	1,919	979	453	92
Greater Geelong City Part A (SSD)	70	49	10	—
Barwon (SD)	82	60	16	—
Western District (SD)	26	18	2	—
Ballarat City (SSD) (c)	n.a.	7	15	—
Central Highlands (SD)	39	16	20	—
Wimmera (SD)	7	6	—	—
Mildura Rural City Part A (SSD)	13	11	4	—
Mallee (SD)	19	16	4	—
Greater Bendigo City Part A (SSD)	42	—	—	—
Loddon (SD) (c)	n.a.	n.a.	3	—
Greater Shepparton City Part A (SSD)	7	4	7	—
Goulburn (SD) (c)	n.a.	n.a.	20	—
Wodonga (SSD) (c)	n.a.	n.a.	2	—
Ovens-Murray (SD) (c)	n.a.	n.a.	3	—
East Gippsland (SD) (c)	n.a.	n.a.	6	—
Latrobe Valley (SSD) (c)	n.a.	n.a.	1	—
Gippsland (SD)	57	23	4	—
Victoria	2,292	1,154	531	92

(a) Refer to paragraph 10 of the explanatory notes. (b) As a result of changes to Statistical Division and Statistical Subdivision boundaries, data for periods prior to July 1995 are not directly comparable to data for periods from July 1995 onward. (c) Data for periods marked "n.a." are not available because boundaries have been significantly altered.

**DUAL OCCUPANCY DWELLING UNITS APPROVED,
VICTORIA**



**DUAL OCCUPANCY DWELLING UNITS APPROVED,
EXPRESSED AS A PERCENTAGE OF TOTAL DWELLING UNITS,
MELBOURNE STATISTICAL DIVISION**

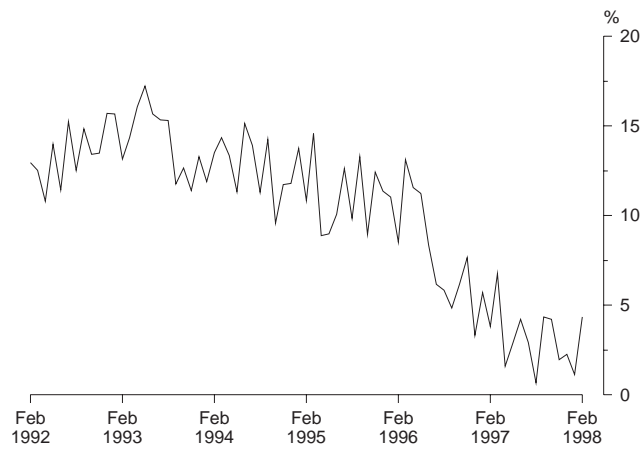


TABLE 13. NUMBER OF DUAL OCCUPANCY (a) DWELLING UNITS APPROVED

<i>Statistical local area (b) (c)</i>	<i>1995-96</i>	<i>1996-97</i>	<i>July - Feb. 1997-98</i>	<i>Feb. 1998</i>
Banyule (C)				
Heidelberg	n.a.	n.a.	6	3
North	n.a.	n.a.	7	2
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>13</i>	<i>5</i>
Bayside (C)				
Brighton	49	27	24	2
South	n.a.	n.a.	19	—
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>43</i>	<i>2</i>
Boroondara (C)				
Camberwell North	n.a.	n.a.	9	—
Camberwell South	n.a.	n.a.	8	3
Hawthorn	8	6	2	—
Kew	24	1	5	1
<i>Total</i>	<i>104</i>	<i>29</i>	<i>24</i>	<i>4</i>
Brimbank (C)				
Keilor	n.a.	n.a.	23	5
Sunshine	n.a.	n.a.	15	4
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>38</i>	<i>9</i>
Cardinia (S)				
Pakenham	n.a.	n.a.	—	—
South	n.a.	n.a.	—	—
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>—</i>	<i>—</i>
Casey (C)				
Berwick	n.a.	n.a.	—	—
South	n.a.	n.a.	—	—
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>—</i>	<i>—</i>
Darebin (C)				
Northcote	n.a.	n.a.	16	10
Preston	n.a.	n.a.	6	3
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>22</i>	<i>13</i>
Frankston (C)				
East	n.a.	n.a.	—	—
West	n.a.	n.a.	4	2
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>4</i>	<i>2</i>
Glen Eira (C)				
Caulfield	87	73	12	1
South	n.a.	n.a.	22	5
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>34</i>	<i>6</i>
Greater Dandenong (C)				
Dandenong	9	17	—	—
Balance	n.a.	n.a.	8	4
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>8</i>	<i>4</i>
Hobsons Bay (C)				
Altona	n.a.	n.a.	10	2
Williamstown	n.a.	n.a.	5	1
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>15</i>	<i>3</i>
Hume (C)				
Broadmeadows	n.a.	n.a.	10	5
Craigieburn	n.a.	n.a.	2	—
Sunbury	n.a.	n.a.	4	—
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>16</i>	<i>5</i>
Kingston (C)				
North	n.a.	n.a.	21	4
South	n.a.	n.a.	16	1
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>37</i>	<i>5</i>
Knox (C)	n.a.	n.a.	—	—
Manningham (C)	n.a.	n.a.	—	—
Maribyrnong (C)	n.a.	n.a.	12	4
Maroondah (C)				
Croydon	n.a.	n.a.	16	6
Ringwood	n.a.	n.a.	14	4
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>30</i>	<i>10</i>
Melbourne (C)				
Inner	—	—	—	—
Remainder	n.a.	2	—	—
<i>Total</i>	<i>n.a.</i>	<i>2</i>	<i>—</i>	<i>—</i>
Melton (S)				
East	n.a.	n.a.	2	—
Balance	n.a.	n.a.	—	—
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>2</i>	<i>—</i>
Monash (C)				
South-West	n.a.	n.a.	13	2
Waverley East	n.a.	n.a.	6	—
Waverley West	n.a.	n.a.	18	3
<i>Total</i>	<i>n.a.</i>	<i>n.a.</i>	<i>37</i>	<i>5</i>

TABLE 13. NUMBER OF DUAL OCCUPANCY (a) DWELLING UNITS APPROVED—*continued*

<i>Statistical local area (b) (c)</i>	<i>1995-96</i>	<i>1996-97</i>	<i>July - Feb. 1997-98</i>	<i>Feb. 1998</i>
Moonee Valley (C)				
Essendon	49	—	—	—
West	n.a.	n.a.	—	—
Total	n.a.	n.a.	—	—
Moreland (C)				
Brunswick	10	5	8	2
Coburg	n.a.	n.a.	8	1
North	n.a.	n.a.	10	2
Total	n.a.	n.a.	26	5
Mornington Peninsula (S)				
East	n.a.	n.a.	4	1
South	14	—	5	1
West	n.a.	n.a.	2	—
Total	n.a.	n.a.	11	2
Nillumbik (S)				
South-West	n.a.	n.a.	—	—
Balance	n.a.	n.a.	—	—
Total	n.a.	n.a.	—	—
Port Phillip (C)				
St Kilda	n.a.	n.a.	4	—
West	n.a.	1	8	1
Total	n.a.	n.a.	12	1
Stonnington (C)				
Prahran	n.a.	n.a.	5	1
Malvern	33	19	14	2
Total	n.a.	n.a.	19	3
Whitehorse (C)				
Box Hill	39	36	9	1
Nunawading East	n.a.	n.a.	9	—
Nunawading West	n.a.	n.a.	13	1
Total	116	78	31	2
Whittlesea (C)	n.a.	n.a.	—	—
Wyndham (C)	n.a.	n.a.	—	—
Yarra (C)				
North	n.a.	n.a.	—	—
Richmond	25	14	15	2
Total	n.a.	n.a.	15	2
Yarra Ranges (S) (d)				
Central	3	5	—	—
North	n.a.	n.a.	—	—
South-West	n.a.	n.a.	4	—
Total	n.a.	n.a.	4	—
Melbourne Statistical Division	1,919	979	453	92
Rest of Victoria	373	175	78	—
Total Victoria	2,292	1,154	531	92

(a) Refer to paragraph 10 of the Explanatory Notes. (b) As a result of changes to Statistical Division and Statistical Subdivision boundaries, data for periods prior to July 1995 are not directly comparable to data for periods from July 1995 onward. (c) Data for periods marked "n.a." are not available because boundaries have been significantly altered. (d) The Shire of Yarra Ranges comprises four Statistical Local Areas (SLA). Approvals data for the three SLAs included in the Melbourne Statistical Division are shown in Table 13. The other SLA is included in the Gippsland Statistical Division.

EXPLANATORY NOTES

INTRODUCTION

1. This publication contains monthly details of building work approved.
2. For purposes of comparison, it should be noted that statistics of building approvals are affected from month to month by large projects (*e.g.* blocks of flats, multi-storey office buildings) approved in particular months and also by the administrative arrangements of government authorities.

SCOPE AND COVERAGE

3. Statistics of building work approved are compiled from:
 - (a) permits issued by local authorities in areas subject to building control by those authorities; and
 - (b) contracts let or day labour work authorised by Commonwealth, State, semi-government and local government authorities.
 - (c) major building activity which takes place in areas not subject to the normal administrative approval processes (*e.g.* buildings on remote mine sites).
 - (d) permits issued by licensed private building surveyors. The last category reflects implementation of the 1993 Building Act by the Victorian Government from 1 July 1994.
4. The statistics relate to building activity which includes construction of new buildings, and alterations and additions to existing buildings. Construction activity not defined as building (*e.g.* construction of roads, bridges, railways, earthworks etc.) is excluded from this publication, but can be found in the ABS publication *Engineering Construction Survey* (Cat. no. 8762.0).
5. In relation to work carried out on existing buildings, the statistics include details of non-structural renovation and refurbishment work and the installation of integral building fixtures for which building approval was obtained.
6. From July 1990, the statistics cover:
 - (a) all approved new residential building jobs valued at \$10,000 or more (previously \$5,000 or more)
 - (b) approved alterations and additions to residential buildings valued at \$10,000 or more
 - (c) all approved non-residential building jobs valued at \$50,000 or more (previously \$30,000 or more).

These changes in coverage do not have a statistically significant effect on broad building approvals aggregate data. However, care should be taken in interpreting data for specific classes of non-residential building.

DEFINITIONS

7. A *building* is defined as a rigid, fixed and permanent structure which has a roof. Its intended purpose is primarily to house people, plant, machinery, vehicles, goods or livestock. An integral feature of a building's design, to satisfy its intended use, is the provision for regular access by persons.
8. A *dwelling unit* is defined as a self-contained suite of rooms, including cooking and bathing facilities and intended for long term residential use. Units (whether self-contained or not) within buildings offering institutional care such as hospitals or temporary accommodation, such as motels, hostels and holiday apartments are not defined as dwelling units. The value of units of this type is included in the appropriate category of non-residential buildings' approved.
9. A *residential building* is defined as a building predominantly consisting of one or more dwelling units. Residential buildings can be either houses or other residential buildings.
 - (a) A *house* is defined as a detached building predominantly used for long term residential purposes and consisting of only one dwelling unit. Thus detached granny flats and detached dwelling units such as caretaker's residences associated with non-residential buildings are defined as houses for the purpose of these statistics.
 - (b) An *other residential building* is defined as a building which is predominantly used for long term residential purposes and which contains (or has attached to it) more than one dwelling unit (*e.g.* includes townhouses, duplexes, apartment buildings etc.).

10. Details of dual occupancy dwelling units approved are included in Tables 12 and 13 of this publication. The dual occupancy concept applies in each case where two dwelling units occupy a single residential allotment and new dwelling units are created as follows:

- (a) when two new dwelling units are to be erected on one allotment both units are counted.
- (b) when one new dwelling unit is to be erected on an allotment already occupied by an existing dwelling unit, the new unit is counted.
- (c) when an existing dwelling unit is to be altered or added to, to create two dwelling units, one new unit is counted.
- (d) when a non-residential building is to be altered and/or added to, to create two dwelling units, both units are counted.

11. From the January 1995 issue of this publication, the number of dwelling units approved as part of alterations and additions to or conversions of existing residential or non-residential buildings and as part of the construction of non-residential building is shown separately in Table 1 under the heading of 'Conversions, etc.', and is included in the total number of dwelling units shown in the table. Previously, such dwellings were only included as a footnote.

12. In addition, from the January 1995 issue, the seasonally adjusted and trend estimates for the number of dwelling units approved, shown in Table 3, include these conversions, etc. Previously, only dwelling units approved as part of the construction of new residential buildings were included in these estimates.

13. The value of new residential building approved continues to exclude the value of dwelling units approved as part of alterations and additions to or conversions of existing residential or non-residential buildings and as part of the construction of non-residential building. Approved building work represented by these conversions, etc. jobs continues to be included in the value of alterations and additions to residential buildings or in the value of non-residential building as appropriate.

14. Value data are derived by aggregation of the estimated value (when completed) of building work (excluding value of land and landscaping but including site preparation) *as reported on approval documents*. For 'houses', these estimates are usually a reliable indicator of the completed value of the building. However, for 'other residential buildings' and 'non-residential buildings' these estimates can differ significantly from the completed value of the building.

BUILDING CLASSIFICATION

15. *Ownership of a building* is classified as either Public Sector or Private Sector according to the sector of the intended owner of the completed building as evident at the time of approval. Residential buildings being constructed by private sector builders under government housing authority schemes whereby the authority has contracted, or intends to contract, to purchase the buildings on or before completion, are classified as public sector.

16. *Functional classification of buildings:* a building is classified according to its intended major function. Hence a building which is ancillary to other buildings or forms a part of a group of related buildings is classified to the function of the building and not to the function of the group as a whole. An example of this can be seen in the treatment of building work approved for a factory complex. In this case a detached administration building would be classified to Offices, a detached cafeteria building to Shops, while factory buildings would be classified to Factories. An exception to this rule is the treatment of group accommodation buildings *e.g.* a student accommodation building on a university campus would be classified to Educational.

SEASONAL ADJUSTMENT

17. Seasonal adjustment is a means of removing the estimated effects of normal seasonal variation from the series so that the effects of other influences on the series may be more clearly recognised.

18. Table 3 shows seasonally adjusted estimates for both private and total dwellings. For the four series shown, account has been taken of normal seasonal factors and 'trading day' effects (arising from the varying numbers of Sundays, Mondays, Tuesdays etc. in the month) and the effect of movement in the date of Easter which may, in successive years, affect figures for different months.

19. Seasonal adjustment procedures do not aim to remove the irregular or non-seasonal influences which may be present in any particular month, such as the effect of the approval of large projects or as a consequence of the administrative arrangements of approving authorities. These irregular influences that are highly volatile can make it difficult to interpret the movement of the series even after adjustment for seasonal variation.

20. Most of the component series have been seasonally adjusted independently. Therefore, the adjusted components may not add to the adjusted totals. Further, the difference between independently seasonally adjusted series does not necessarily produce series which are optimum or even adequate adjustments of the similarly derived original series. Thus the figures which can be derived by subtracting seasonally adjusted private sector dwelling units from the seasonally adjusted total should not be used to represent seasonally adjusted public sector dwelling units.

21. As happens with all seasonally adjusted series, the seasonal factors are reviewed annually to take account of each additional year's data. For Building Approvals, the results of the latest review are normally shown in the July issue each year. Further information about seasonal adjustment can be obtained from the Assistant Director of Time Series Analysis, Canberra, on (02) 6252 6345.

TREND ESTIMATES

22. Seasonally adjusted series can be smoothed to reduce the impact of the irregular component in the adjusted series. This smoothed seasonally adjusted series is called a trend estimate.

23. Table 3 shows trend estimates for both private and total dwellings. These are obtained by applying a 13-term Henderson-weighted moving average to all months of the respective seasonally adjusted series except the last six months. Trend series are created for the last six months by applying surrogates of the Henderson moving average to the seasonally adjusted time series. For further information, see *A Guide to Interpreting Time Series – Monitoring 'Trends': an Overview* (Cat. no. 1348.0).

24. While the smoothing technique described in paragraphs 22 and 23 enables trend estimates to be produced for the latest few months, it does result in revisions to the trend estimates as new data become available. Generally, revisions become smaller over time and, after three months, usually have a negligible impact on the series. Revisions to the original data and re-analysis of seasonal factors may also lead to revisions to the trend.

ESTIMATES AT CONSTANT PRICES

25. Estimates of the quarterly value of building approvals at average 1989–90 prices are presented in Table 4. (Note: monthly value data at constant prices are not available.)

26. Constant price estimates measure changes in value after the direct effects of price changes have been eliminated. The deflators used to revalue the current price estimates are derived from the same price data underlying the deflators compiled for the dwelling and non-dwelling construction components of the national accounts aggregate 'Gross fixed capital expenditure'.

27. Estimates at constant prices are subject to a number of approximations and assumptions. Further information on the nature and concepts of constant price estimates is contained in Chapter 4 of *Australian National Accounts : Concepts, Sources and Methods* (Cat. no. 5216.0).

AUSTRALIAN STANDARD GEOGRAPHICAL CLASSIFICATION (ASGC)

28. Area statistics are now being classified to the *Australian Standard Geographical Classification, 1996 Edition* (Cat. no. 1216.0), effective from 1 July 1996, and ASGC terminology has been adopted in the presentation of building statistics.

29. The 1996 edition of the ASGC includes some changes to Victorian Statistical Divisions (SDs), Statistical Subdivisions (SSDs) and Statistical Local Areas (SLAs). Further details are:

- (a) The Shire of Milawa was renamed to Wangaratta and constituted as a Rural City.
- (b) Western Fringe Melbourne SSD (in Melbourne SD) has been renamed Melton–Wyndham SSD.
- (c)
 - (i) The boundary of the Bendigo Statistical District has been extended to include a part transferred from Greater Bendigo (C) – Part B SLA to Greater Bendigo (C) – Strathfieldsaye SLA. There are consequential changes to Greater Bendigo City Part A and North Loddon SSDs.
 - (ii) All SLAs in Greater Bendigo (C) LGA have been redefined. The seven new SLAs are: Greater Bendigo (C) – Central, Greater Bendigo (C) – Eaglehawk, Greater Bendigo (C) – Inner East, Greater Bendigo (C) – Inner North, Greater Bendigo (C) – Inner West, Greater Bendigo (C) – Strathfieldsaye (in Greater Bendigo City Part A SSD) and Greater Bendigo (C) – Part B (in North Loddon SSD).
- (d) The following SLA splits (and boundary changes) have occurred:
 - (i) Cardinia (S) – Pakenham has been split into two SLAs, Cardinia (S) – Pakenham (which also includes a part from Cardinia (S) – South) and Cardinia (S) – North

- (ii) Casey (C) – Berwick lost part to Casey (C) – South; remainder has been split into two SLAs, Casey (C) – Berwick and Casey (C) – Hallam
 - (iii) Casey (C) – South has been split into two SLAs, Casey (C) – South (which also includes a part from Casey (C) – Berwick) and Casey (C) – Cranbourne
 - (iv) Knox (C) has been split into two SLAs, Knox (C) – North and Knox (C) – South
 - (v) Manningham (C) has been split into two SLAs, Manningham (C) – East and Manningham (C) – West
 - (vi) Moira (S) has been split into two SLAs, Moira (S) – East and Moira (S) – West
 - (vii) Nillumbik (S) Bal has been split into two SLAs, Nillumbik (S) – South (which also includes a part from Nillumbik (S) – South-West) and Nillumbik (S) Bal
 - (viii) Pyrenees (S) has been split into two SLAs, Pyrenees (S) – North and Pyrenees (S) – South
 - (ix) Swan Hill (RC) Bal has been split into two SLAs, Swan Hill (RC) – Robinvale and Swan Hill (RC) Bal
 - (x) Whittlesea (C) has been split into two SLAs, Whittlesea (C) – North and Whittlesea (C) – South
 - (xi) Wyndham (C) has been split into three SLAs, Wyndham (C) – North-West, Wyndham (C) – Werribee and Wyndham (C) Bal
- (e) There have been changes between the following boundaries:
- (i) Ballarat (C) – Central and Ballarat (C) – Inner North
 - (ii) Ballarat (C) – Inner North and Ballarat (C) – South
 - (iii) Banyule (C) – Heidelberg and Banyule (C) – North
 - (iv) Colac–Otway (S) – Colac, and Colac–Otway (S) – North
 - (v) East Gippsland (S) – Orbost and East Gippsland (S) Bal
 - (vi) Geelong and Geelong West
 - (vii) Glenelg (S) – Heywood and Glenelg (S) – North
 - (viii) Glenelg (S) – Heywood and Glenelg (S) – Portland
 - (ix) Loddon (S) – North and Loddon (S) – South
 - (x) Macedon Ranges (S) – Kyneton and Macedon Ranges (S) Bal
 - (xi) Maroondah (C) – Croydon and Maroondah (C) – Ringwood
 - (xii) Moonee Valley (C) – Essendon and Moonee Valley (C) – West
 - (xiii) Moyne (S) Bal abolished: split between Moyne (S) – South (renamed to Moyne (S) – South-West) and new SLA Moyne (S) – North-West
 - (xiv) Moyne (S) – South created from Moyne (S) – South-West and the southern part of Moyne (S) Bal
 - (xv) Nillumbik (S) – South-West, and Nillumbik (S) – South
 - (xvi) Surf Coast (S) – East and Surf Coast (S) – West
 - (xvii) Wangaratta (RC) – North (previously Milawa (S) – North) and Wangaratta (RC) – South (previously Milawa (S) – South)
 - (xviii) Wangaratta (RC) – Central renamed from Milawa (S) – Wangaratta
 - (xix) Wellington (S) – Avon and Wellington (S) – Maffra

30. Tables 8, 9 and 13 show approvals statistics according to the new SLA structure for July 1996. Tables 10, 11, 12 and 13 include data for previous periods relating to those geographic areas for which no boundary changes have been made and for SDs to which only minor boundary changes have been made. (Historical data for SDs subject to significant boundary changes can, in some instances, be provided as a special data service. Charges apply for these services.)

UNPUBLISHED DATA AND RELATED PUBLICATIONS

31. The ABS can also make available certain building approvals data which are not published. Where it is not practicable to provide the required information by telephone, data can be provided in the following forms: photocopy, computer printout and clerically extracted tabulation. A charge may be made for providing unpublished information in these forms.

32. Other ABS publications which may be of interest include:

Building Approvals, Australia (Cat. no. 8731.0) – issued monthly
Building Activity, Australia: Dwelling Unit Commencements, Preliminary
 (Cat. no. 8750.0) – issued quarterly
Building Activity, Victoria (Cat. no. 8752.2) – issued quarterly

33. Current publications produced by the ABS are listed in the *Catalogue of Publications and Products, Australia* (Cat. no. 1101.0). The ABS also issues, on Tuesdays and Fridays, a *Release Advice* (Cat. no. 1105.0) which lists publications to be released in the next few days. The Catalogue and Release Advice are available from any ABS office.

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SYMBOLS AND USAGES

In this publication, Cities are marked (C), Rural Cities (RC), Boroughs (B), and Shires (S).

..	not applicable
—	nil or rounded to zero
r	figure or series revised since previous issue
n.a.	not available

35. Where figures have been rounded, discrepancies may occur between sums of the component items and totals.

Ian Crettenden
Acting Regional Director
Victoria

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